

LISC Greater Kansas City

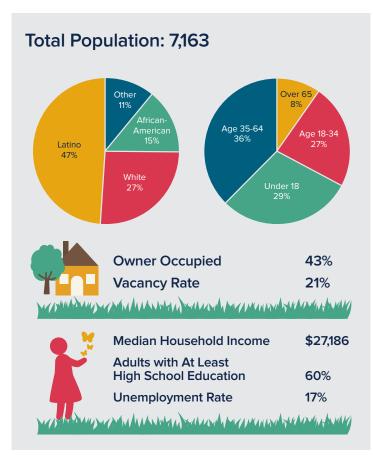
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DOWNTOWN SHAREHOLDERS OF KANSAS CITY, KS, INC. For more information contact: Chuck Schlittler, Director Downtown Shareholders, KCK 726 Armstrong, Ste. 201 Kansas City, KS 66101 (913) 371-0705 director@downtownkck.org www.downtownkck.org

Downtown Kansas City, Kansas

Quality of Life Plan Update 2016 - 2018





Our Mission

Downtown Shareholders of Kansas City, Kansas, Inc. (DTS-KCK) is a community-led organization promoting economic development, housing choice, wellness, and cultural and social opportunities in Downtown Kansas City, Kansas. Its mission is to preserve and enhance the urban vitality of Downtown KCK. "We envision an inclusive and safe downtown with locally owned businesses, mixed-income housing, and vibrant public spaces celebrating our rich cultural heritage."

NeighborhoodsNOW Accelerated

After 10 years of a comprehensive neighborhood revitalization strategy in Kansas City, LISC and its colleagues have come to understand four essential elements that are needed, in tandem, to accelerate progress: 1) Organized neighborhood leadership and collective efficacy; 2) Capital from multiple sources, which can be deployed in the target area; 3) Internal capacity and/or partnerships to do physical real estate development; 4) Alignment with the strategies and leadership of city government.

This 2016-2018 Quality of Life Plan invites stakeholders associated with each of these success factors to play an active role in fulfilling this neighborhood's three key goals. By working together to cultivate and sustain the capacity for implementation, we can create a place where people lead lives filled with opportunity.



2016 - 2018 Implementation Plan

Organized For Success

DTS-KCK is a 501(c)3 non-profit organization founded in 2006. DTS-KCK employs two executive staff, and is governed by community stakeholders through an elected Board of Directors.

DTS-KCK was established out of a desire by downtown businesses and organizations to bring new housing and businesses opportunities to KCK's urban core. To achieve these goals, one of the organization's principal duties is to serve as administrative agent for downtown's Self-Supported Municipal Improvement District (SSMID). Established in 2008, the SSMID funds cleaning and security programs that help make downtown a safe and attractive place to live and work. DTS-KCK also administers a variety of small business attraction and retention programs, public space and building improvement programs, and public festivals and events.

Key civic partners in these efforts include the Unified Government of Wyandotte County and Kansas City, Kansas, the KCK Chamber of Commerce, the KCK Convention and Visitors Bureau, the Kansas City Kansas Board of Public Utilities, and many other area institutions and neighborhood associations. Greater Kansas City LISC is also a key partner, and has invested \$1.2 million in Downtown KCK since 2006 to support economic and social revitalization programs and to build the capacity of DTS-KCK to steward its Quality of Life Plans.



DIRECTIONAL CUES	GOALS	STRATEGIES	MILESTONES	TIMING	IMPLEMENTATION STAKEHOLDERS
			Renewal approved by UG Board of Commissioners	Q3 2016	
Moderate commercial vacancy rate Limited retail services		Renew Self-Supported Municipal Improvement District (SSMID)	SSMID ten-year renewal period begins	Q1 2017	••
		Establish new landscaping program	Secure capital for planning and construction	Q4 2016	•
Need to improve perception of Downtown KCK			Secure UG and neighborhood stakeholder approvals	Q1 2017	
of Downtown Reik			Install improvements	Q2 2017	
	A clean, safe and attractive Downtown KCK		Implement maintenance program	Q3 2017	
		Expand SSMID-funded marketing program	Complete grant applications	Q12017	
			Secure implementation grant	Q2 2017	
			Create project workplan & retain professional services	Q3 2017	
			Implement program	Q3 2017	
Moderate commercial vacancy rate Limited retail services Limited capital Need to increase economic opportunities for KCK residents	Z Foster small business growth	 Extend and expand 'pop-up' small-business incubator program Extend and expand small-business grant and incentives program Create a strategic plan for Downtown KCK marketing, branding & retail recruitment Produce and disseminate Downtown KCK urban design guidelines 	Identify and secure pop-up locations Market for and secure participants Raise capital for YR1 program expansion Raise capital for YR2 program expansion Draft program policies and project workplan Market for and secure participants Raise capital for YR1 program expansion Raise capital for YR2 program expansion Draft scope of work Secure funding & release RFP for professional services Evaluate respondents and hire firm Complete survey and guideline documentation Secure funding for printing & materials distribution Publish and distribute guideline document	Q2 2016 Q2 2016 Q3 2017 Q3 2018 Q2 2016 Q2 2016 Q3 2017 Q3 2018 Q3 2016 Q3 2016 Q3 2016 Q4 2016 Q1 2017 Q2 2017 Q3 2017	
Housing demand exceeds existing supply Limited staff development	2	Reduce student homelessness	Conduct partner outreach Codify goals identified to-date and next steps Produce resource guide	Q1 2016 Q3 2016 Q1 2017	••
capacity			Conduct partner outreach	Q2 2016	••
		Facilitate development of market-rate,	Write business plan	Q3 2017	
	Increase housing choices	workforce, and/or low-income housing product	Secure funding for additional staff	Q1 2018	
			Establish legal and business structure	Q1 2018	••
			Research rules and analyze trade-offs	Q3 2017	••
		Explore Historic District designation to facilitate residential adaptive reuse	Determine policy direction with Board of Directors	Q2 2017	
			Secure funding for professional services	Q2 2018	
			Research firms, prepare and solicit RFP	Q2 2018	

IMPLEMENTATION STAKEHOLDERS

Neighborhood Organization	Self-Supported Municipal Improvement District, Advisory Board • Self-Supported Municipal Improvement District • Ll: Wyandotte Economic Development Council
Capital	Self-Supported Municipal Improvement District, Advisory Board • Self-Supported Municipal Improvement District • U (Hollywood Casino Grant) • LISC • Kansas City Kansas Chamber of Commerce • Wyandotte Economic Development
Development Capacity	Unified Government Board of Commissioners • Unified Government Department of Urban Planning & Land Use •
Political Will	Unified Government Board of Commissioners • Unified Government Department of Public Works • Unified Govern Wyandotte Economic Development Council • Unified Government Department of Urban Planning & Land Use

LISC • Kansas City Kansas Chamber of Commerce • Kim Wilson Housing •

Unified Government Department of Public Works • Unified Government nt Council • Unified Government Department of Urban Planning & Land Use

• LISC

ernment (Hollywood Casino Grant) • Mayor's Office, Kansas City, Kansas •