

## FRAMEWORK PLAN

# Design Guidelines

### URBAN MULTI-FAMILY RESIDENTIAL DESIGN GUIDELINES

84

### URBAN COMMERCIAL STANDARDS

89

### SINGLE FAMILY HOME DESIGN GUIDELINES

96

Throughout the public engagement process, community stakeholders reinforced the need for high quality commercial and residential development especially along major corridors. In addition to the plan's strategic recommendations about future land use, these guidelines seek to activate the street and promote a variety of dynamic, public outdoor environments.

Urban commercial corridors and centers offer the most unique and vibrant places within a city. These places are known for their outdoor spaces, unique and active ground floor businesses, mix of leisure and business activities, visual displays, unique buildings, and the constant presence of people. It is the intent of these standards to promote vibrant and cohesive urban developments that will create a strong sense of place. It is the community's desire to have quality and architecturally interesting design that enhances the street and ultimately enhances the entire commercial area and surrounding neighborhoods.

The goal of these design guidelines is to remove as much subjectivity as possible within the design review process by creating clear and concise regulations that capture the community's expectations for renovated and new projects. Furthermore, it is our goal that these regulations produce desirable, and predictable design results which promote safety, the pedestrian-scale, quality and urban spaces. These standards are also intended to protect quality buildings from future adjacent development that is of lower quality and desirability. These are significant considerations for design review, but are not like the zoning code in that these are strong guidelines and not requirements.

## URBAN MULTI-FAMILY RESIDENTIAL DESIGN GUIDELINES:

The following design guidelines apply to all new and renovated urban multi-family developments.

### SITE CIRCULATION

Pedestrian walkways and sidewalks shall be a minimum of six feet wide. All pedestrian walkways shall be designed to provide direct access and connections to and between the following:

- The primary entrance or entrances to each principal multi-family building
- To any sidewalks, trails, and walkways on adjacent properties that extend the boundaries shared with the multi-family development
- Any adjacent commercial land uses, including but not limited to retail shopping centers, office buildings, restaurants, or person service establishments. Commercial side or rear buffers may have a break or gateway to allow these connections to be made.

Garage entries, parking areas, and parking structures shall be internalized in building groupings and located behind, underneath, or within the building. Multiple garage entries may not front any primary street with the exception of a combination of basement garage and stoop commonly found in Rosedale. Only one access point or garage door is allowed per group of buildings. Access to parking lots may be gated. With exclusion of driveway leading directly to garage door, parking may not be located between the building face and the public right-of-way.

To continue the existing urban pattern that will blend into the surrounding neighborhood, developments that include interior streets shall be laid out in orthogonal streets and blocks as topography allows. Interior streets must have a sidewalk and parking on at least one side of the street. These streets may not be gated.

Unless rebuilt within the last 10 years, sidewalks and curbs at the perimeter of the development must be re-built and include a 2' green strip between sidewalk and curb.

### SITE CONFIGURATION

#### Setbacks

A building may be set back no greater than 20' from the public right-of-way. Side street setbacks may not contain parking or a driveway.

#### Frontage

Building must occupy at least 70% of a lot's primary street frontage.

### TRANSITION OF HEIGHT

Multi-Family developments abutting single family residences within areas zoned strictly for single family land use, must use the height transition strategies listed below:

- Minimum side yard setback of 10' from property line abutting single family
- Within 30' of the property line abutting the single family residence, a multi-family building may not exceed a half story roof height greater than adjacent residence's roof height.
- Within 50' of the property line abutting a single family residence, a multi-family building may not exceed one story roof height greater than adjacent residence's roof height.

If a multi-family residence is located along a primary corridor with a single family neighborhood located directly behind, a 1.5 story garage/shelter with a solid opaque back wall shall abut the back property line. Landscaping is not required where garage is built.

## **AMENITIES**

Developments greater than 20 units must provide one of the following:  
Developments with greater than 50 units must provide two of the following:

- Enclosed dog yard with seating area and shade trees
- Enclosed and landscaped courtyard or patio with one grill or fire pit and seating area
- 400 sq. foot play area with play structure
- Resident garden area with water access (must be in active use)
- Swimming pool
- Rooftop patio
- 5 sq. ft or greater balconies for all units

All buildings must provide enclosed and ground level storage for bicycles.

## **MATERIALS**

High quality building materials will be used that are durable, attractive, and have low maintenance requirements. In general, materials must also be horizontally oriented to match the historic qualities of existing urban neighborhoods.

Forty percent (40%) or more of the total net exterior wall area of the building's front and exterior block side elevations, excluding gables, windows, doors, and related trim, shall be masonry.

Prohibited materials include:

- Board and batten wood
- Smooth-faced or split-faced concrete block
- Tilt-up concrete panels
- Corrugated metal siding
- Standard single or double tee concrete systems
- Vinyl siding
- Glass block
- EIFS

Roof materials must have a 35 year warranty

## ENTRANCES

All developments must have a primary entrance oriented towards the development's primary public street. These "front door" entrances must be articulated with one of the following options:

- Masonry Stoop with cheek walls
- Covered or Uncovered Porch (minimum area of 35 sq. feet)
- Projecting or inset Portico (minimum area of 18 sq. feet)
- Patio or yard enclosed by 3' masonry and decorative iron fence

At least one Decorative Light must be placed to the side or above doorways. Doors must have or have the appearance of inset panels, lights, or other architectural detailing. Flat Storm doors and patio doors are prohibited for primary street-oriented first floor entrances.

## ARCHITECTURAL ARTICULATION

All buildings must use at least two of the following architectural elements:

- Setbacks of not more than 5' or less than 16"
- Bay windows
- Inset or Protruding Balconies
- Two or more Building Materials/Colors/Patterns
- Three or more Changes in Roof Height

The Maximum length of a multi-family residential building shall be 200 feet. Facade plains may not span more than 30' and must be broken vertically via setbacks or offsets.

If a building is three stories or greater in height, horizontal articulation is required to promote a pedestrian level scale. Two of the following are required:

- Horizontal Change in building material (Shirtwaist)
- Notable horizontal change in building material pattern or scale or color
- Upper Story setback a minimum of 16"
- Cornice or Banding of contrasting color
- Roofline (typically of a porch) spanning across 60% of facade width
- Other

To continue a more organic urban environment and reduce the feel of mass-produced buildings, it is encouraged that developments containing more than three buildings include slight but complementary variations in one or more of the following:

- Building materials
- Material patterns or colors
- Roof forms
- Facade configuration of porches, balconies, setbacks etc

## **TRANSPARENCY**

All facades oriented towards a street or courtyard accessed from a street must have 40% transparency between 3' and 8' above finished floor on all full stories. Windows must allow clear views to the street and not be darkly tinted, frosted, decorated, or mirrored glass.

Windows included in the above transparency requirement cannot be more than 3.5' above finish floor.

Exterior bars or shutters may not cover windows.

Glass block is prohibited except for bathroom windows not facing primary streets and all basement windows.

In general, windows should be placed to maximize the possibility for occupant surveillance of all entrances, recreation areas, parking areas, and apartment amenities.

## **ROOFS**

Buildings 2 stories and less must have sloping roofs.

Buildings 3 stories and taller may have sloped or flat roofs.

On buildings where sloping roofs are the predominant roof type, each building shall have a variety of roof forms that complement each other. Large expanses of unbroken roof plains greater than 30' in length are to be avoided and must use one of the following:

- Dormer windows
- Offsets in Roof Height of at least 18"
- Intersecting or Compound plans

Sloping roof materials shall have a 35 year warranty and be high quality and durable materials such as:

- Clay or concrete tile
- Composition Shingles
- Asphalt Shingles
- Other materials considered on a case-by-case basis

## **EXTERIOR LIGHTING**

Developments must provide pedestrian scaled lighting spaced every 40' along property lines abutting public streets. Interior parking lots must also be well light without creating glare to the surrounding neighborhood.

## **FENCING, SCREENING, LANDSCAPING**

All fencing, screening, and landscaping must comply with Wyandotte County Zoning and Subdivision Regulations Article V. Fences and Division 10 for Landscaping and Screening.

Any fence within 20' of a public right of way must:

- Be 4' or less in height
- Be constructed of Masonry and/or Decorative Metal
- Allow access to the corresponding public street
- Be at least 70% transparent
- 

Screening of multi-family residential developments is required between:

- Multi-family and commercial uses
- Multi-family and Single Family Residences

Pedestrian access points between various land uses are encouraged

Screening between uses must include a 5' to 7' fence and preferably evergreen trees placed every 30'.

Fence must be constructed of wrought iron or similar looking metal. Where headlights might shine into residential properties, a 4' tall (at maturity) evergreen hedge shall also be planted on the inside of the metal fence.

Engineered wood or vinyl fencing mounted on steel posts is also acceptable.

## **TRASH SCREENING**

If provided, all trash and recycling receptacles shall be enclosed on all sides with a opaque wall or fence constructed of the same materials as the primary structure. The screen must be a minimum of six feet in height on all sides. When possible, the enclosure's gate shall face away from streets or adjacent land uses. All screening materials must be well maintained at all times.

## **PARKING SCREENING**

Parking visible from any public street must be screened by a fence or shrubbery that matures to 3' or greater and is planted to form a solid visual barrier.

## **UTILITIES SCREENING**

Whenever possible, HVAC units must be placed above ground level, preferable on rooftops, and screened from public view. If utilities are located at ground level, they are to be screened with a fence not less than 4' high and with shrubbery that matures to 3' or higher. It is highly encouraged these units are located to reduce noise to both residents and surrounding residences. In no case shall utilities be located between a building face and a public street.

## **FEMA SHELTER**

All dwelling units within a new development must be provided with a basement or with a FEMA standard safe room constructed to tornado standards for the protection of the occupants.



This graphic does not represent an actual project and is for illustration purposes only.

## URBAN COMMERCIAL STANDARDS

### APPLICABILITY

The urban commercial design guidelines are for all commercial developments within the Rosedale Master Plan area and apply to all new buildings, exterior renovations, and additions.

In mixed-use developments, these guidelines will apply only to the development's commercial sections.

### LOT AND BUILDING STANDARDS

The UG understands the complexities that can occur when closely abutting utility and traffic control infrastructure within the public right-of-way. It is recommended that the UG planning department hold a joint meeting with the applicant and UG Public Works to determine possible complications that may affect setbacks and landscaping requirements.

Max Front Street Setback	0' unless area is used for sidewalks or seating
Max Side Street Setback	0' unless area is used for sidewalks or seating
Height:	See underlying zoning
Rosedale Master Plan Area:	
Land Use: General Urban	Max 3 Stories
Land Use: Urban Mixed-Use	Max 4 , Minimum 2 Stories
Land Use: Urban Core Mixed Use	Max 8, Minimum 2 Stories
Land Use: Creative Manufacturing	No Standards
Land Use: Business Park	No Standards
Minimum Frontage	70% of total lot frontage
Entrance height	0' - 2'
Max length between two architectural articulation elements	25'
Minimum first floor ceiling height	15'
Permitted Roof Forms	Flat with parapets or Pitched

Setback Exceptions	Distance from property line	Percentage of Building Frontage
Setback for projecting signs, canopies, or planters	3' max	40%
Patios	15' max	40%
Recessed Entry	5' max	25%
Changes in Facade Setbacks	5' max	40%

In all circumstances, no more than 40% of a building's front or street side facade shall be setback from property line.

### ARCHITECTURAL ARTICULATION ELEMENTS

All commercial buildings must include three of the following:

- Canopy or awnings
- Arcades
- Recesses and projections no greater than 5'
- Three or more changes in Roof Heights
- 3' Deep Window Display
- Outdoor patio
- Two or more facade materials (excluding glass windows)
- Balconies

All buildings must have a Primary Entrance accentuated by two of the following:

- Tiled Entry Way
- Decorative Lighting
- Projecting Sign
- Transom or Sidelight windows
- Recessed entrance

Primary entrances must be oriented towards the primary public right of way. On corner lots, entrances may be placed at the corner. Side and back entrances are permitted but must not appear more dominant than the primary entrance. Retail shops at street level must have direct

access to the sidewalk. Upper story commercial and residential uses must also have an entrance on the primary street.

### Horizontal Articulation or Preservation of Pedestrian Scale

Buildings of three or more stories must have horizontal articulation between either the 1st and 2nd stories or 2nd and 3rd stories to create a pedestrian-scaled environment. Adjacent buildings should approximately align horizontal elements.

All three story and taller buildings must use two of the following elements to articulate a horizontal break between the lower pedestrian oriented facade and upper stories:

- Ground Floor Arcade
- Upper floor step back or cantilever of at least 2'
- Canopies or Awnings that run 70% of building width
- Change in building material
- Change in building material pattern or scale
- Notable Change in material color or finish
- Cornice: A horizontal band of contrasted by either heightened detailing or color contrasting material generally running the entire length of the building facade

### Corner Buildings

Corner buildings shall be designed to emphasize the intersection and define the urban street wall. Without exclusion, the building shall have a zero foot setback within 10' of the property's corner. Corners are to be further emphasized by using one of the following:

- Increased Transparency
- Increased Height
- Change in Material
- Projecting Sign
- Corner Entrance (angled entrance is not considered a setback)





### Transitions

Commercial developments abutting a single family residence within areas zoned strictly for single family land use, must use all the transition strategies listed below:

- Minimum side yard setback of 10' from property line
- Within 30' of the property line, a commercial building may not exceed a half story roof height greater than adjacent residence's roof height.
- Within 50' of the property line, a commercial building may not exceed one and a half stories roof height greater than adjacent residence's roof height.

### Other

Building elements may not function as signage. The appearance of "franchise architecture" where buildings function as signage is discouraged. Incorporations of franchise or business design elements unique or symbolic of a particular business must be unobtrusive and secondary to the overall architectural design.

### OUTDOOR SPACE

Outdoor urban spaces have proven to be a fundamental element in desirable and sustainable communities that serve and attract people of all ages. It is the intent of these guidelines to enrich urban corridors with

well designed, user friendly spaces that are complementary to the complete-street strategies adopted by the Unified Government.

New developments must provide partially shaded and clearly defined outdoor spaces with seating for residents, employees, or patrons that are visible and accessible and adjacent to the street (excluding accessibility to rooftop patios or balconies). Outdoor spaces may be public or semi-private in nature, and must be landscaped with planters or in-ground plantings to soften the urban environment.

Examples of outdoor spaces include (but are not limited to):

- Roof top patio
- Ground floor patio (can be made semi-private with a 30"-36" enclosure wall)
- Landscaped Mini Park, plaza, or courtyard
- Protected seating area with planters (especially desired if adjacent to bus stops)
- Large Balconies
- Space containing a fountain or public art

## Size

Outdoor space size shall be determined by building's ground floor temperature controlled area. Outdoor spaces shall be 10% of a development's ground floor area or 600 square feet, whichever is greater. Outdoor space shall be concentrated into one cohesive space, and shall not be subdivided throughout a site. This outdoor space requirement does not apply to new developments with a building frontage of 50' or less.

## Seating Requirements for public spaces

A variety of seating types and configurations is desired for public outdoor areas. Seating requirements may be satisfied by the following seating types: moveable seating, fixed individual seats, fixed benches, design-feature seating such as a seat wall, planter ledges or seating steps. Seating height should be no less than 16" or greater than 20" from adjacent walking level. There shall be a minimum of one linear foot of seating per 30 square feet of the outdoor space area.

Moveable chairs must be accompanied by tables. Moveable chairs shall count as 2 linear feet of seating.

## Open Space Requirement

At least half of the outdoor space must be open, decoratively paved space. Space occupied by fixed planters, fountains, fixed seating, and landscape beds cannot be counted toward open space.

To soften the urban environment, at least 20% of the outdoor space ground area must be planted beds, raised beds, or planters that are not less than 2' wide (excluding any bounding walls). Balconies and patios used specifically by restaurants/cafes are excluded from planting requirements.

Shade may be provided through a variety of means. Trees, canopies, awnings, umbrellas etc. are required to cover at least 25% of the outdoor area's open space. Any outdoor space facing north is excluded from this shading requirement.

## TRANSPARENCY

- Street level facades fronting the dominant street shall have 60% transparency between the heights of 2' and 10'.
- Side street ground floors must have 40% transparency between 2' and 10'.
- Upper levels on side and front facades shall have 40% transparency between 3.5' above finish floor and ceiling height.
- Windows and glass doors shall offer clear views into the building. Fixed interior and exterior window bars, signage, dark or reflective tinting, films or frosting, and other view blocking techniques are prohibited.
- 3' deep window displays may count for up to 50% of transparency requirements.



## MATERIALS

All building facades facing public right-of-ways shall be at least 50% masonry. Cementitious siding may be used to meet 50% of the total masonry requirement.

Front Facade materials must turn the corner and continue 10' on interior building sides.

Material	Permitted on Front and Side Street Facades	Permitted on Back and Interior Sides	Accent Only (Less than 15% of Facade)	Prohibited
Brick	x	x		
Cast Stone	x	x		
Stone	x	x		
Stucco	x	x		
Metal with Hidden Fasteners	x	x		
Fiber Cement Board	x	x		
Glass	x	x		
Glass Block				x
EIFS			x	
Tile			x	
Brightly Colored or black Finishes			x	
Treated Wood			x	
Cast and Pre-cast Concrete		x	x	
CMU		x		
Vinyl Siding				x
Split Shakes				x
Metal with exposed fasteners				Prohibited except for roof utility screening
Highly reflective or mirrored glass				x
Tee concrete systems				x

## **SITE CIRCULATION AND PARKING**

- In no condition shall a driveway or parking occur between a facade and public right of way.
- Pick-up windows, bank teller windows, and any other vehicle cueing activities must be located behind or to the building's interior side.
- To the maximum extent possible, parking must be located behind, underneath, or within a building. Interior parking facilities may not face the primary street and must be set back 30' from the front property line. Only one consolidated entry and exit will be permitted with a building's front facade.
- Shared parking between adjacent or closely related developments is strongly encouraged, provided each development complies with Unified Government parking requirements.
- In the case where parking behind the building is not feasible, an applicant may file for an exception and place parking to the side of the building. Side parking must be screened according to parking lot buffering requirements.
- At least two bike parking spots must be provided with every development.
- All parking lots must manage storm water through BMP's according to UG regulations.
- Night time illumination of parking lots, walkways, entrances, spaces between buildings, and related areas must meet the UG's minimum lighting standards
- Undeveloped side yard areas between two commercial buildings must be well light. These areas are encouraged to become landscaped pedestrian walkways, landscaped mini-parks, or outdoor seating areas for public or employee use.

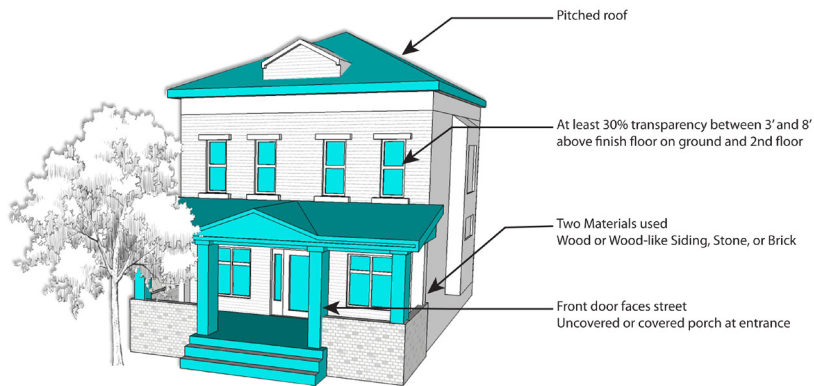
## **ACCESS**

- Projects must be designed to minimize any increased traffic use of neighborhood streets. However, side street access to commercial corner lots is encouraged.
- To reduce curb-cuts, access points, driveways, and cross-circulation must be planned and shared between properties.
- Curb-cuts should be minimized and concentrated at mid-block, and/or must be located at least 200' apart per lot.
- Pedestrian walkways within parking lots or across curb cuts must be distinguished via contrasting material.
- Sidewalks in front of buildings must be designed to accommodate pedestrian activity both for that use and for movement between uses. This may include cafe seating and outdoor sales pursuant to the sidewalk vending ordinance.

## **FENCING, SCREENING AND LANDSCAPE**

Fence, landscaping and screening must comply with Wyandotte County Zoning and Subdivision Regulations Article V. Fences and Division 10 for Landscaping and Screening.

- In situations where a commercial use directly abuts a single family zone, a 6' deep landscaped strip with a 6' solid opaque fence and year-round sight-obscuring planted material must run along the back property line. Chain link is not acceptable for screening.
- If large stretches of commercial buffering occurs, a break in the buffer to connect residents to the commercial lot is encouraged. This break must be served by a public sidewalk or trail.
- In situations where parking lots abut a street, a masonry or wrought iron fence no taller than 36" must screen sidewalks from adjacent parking. A 3' strip with groundcover with street trees planted 30' o.c. must separate sidewalks from parking.
- 100% opaque fences or walls must screen views of loading and service areas from other properties and public streets
- All trash receptacles shall be enclosed with a screening wall or fence constructed of the same material as the primary structure. The screen must be a minimum of six feet in height on all sides and designed with the gate facing away from streets or adjacent land uses. Drainage shall be located adjacent to or within receptacles so drainage does not cross pedestrian walkways. All screening must be well maintained at all times.
- Utilities located on rooftops must be screened and located outside of the pedestrian's viewshed.



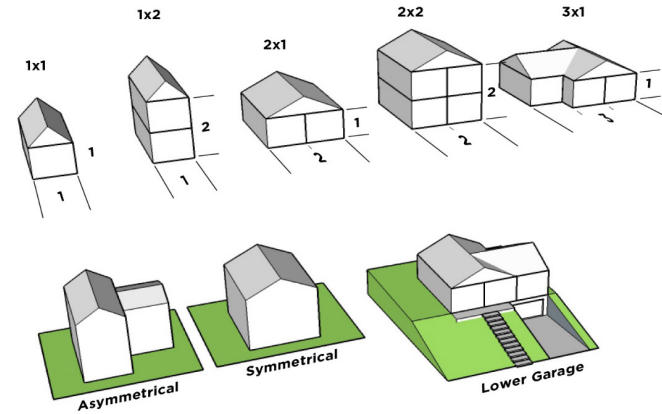
## SINGLE FAMILY HOME DESIGN GUIDELINES

Any infill housing must compliment surrounding houses to preserve the charm and congruity of Rosedale's neighborhoods. To better understand Rosedale's housing, a housing typology study was undertaken and 636 Rosedale homes were surveyed. The housing typology study uncovered basic massing and architectural elements of the typical Rosedale house. By utilizing these very fundamental massing and architectural strategies, neighborhood coherence can be fostered regardless of architectural style.

The typical Rosedale house is 2 stories high and has a narrow floor plan that is two rooms wide and 3 or more long. House configuration is the result of narrow lots with garages and alleys in the back. On wider lots, houses can have a similar configuration with side gabled roofs. In many cases, differences in elevations allowed houses to raise above the street level and have basements with garages. Rosedale home elevations are typically symmetrical, and are usually accentuated by a front facing gabled roof. An elevated porch faces the street. Primary materials are wood or wood-like siding with a secondary material of brick or stone. Variations of these basic elements currently exist and are desired for future single family homes.

## MASSING

Typical and desirable massings are as follows:

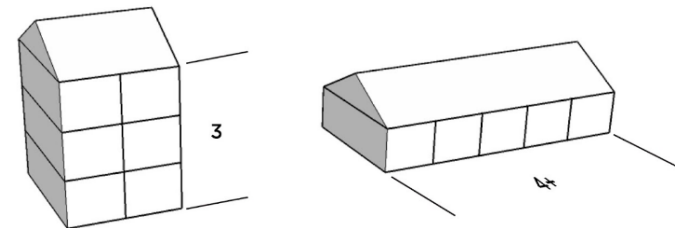


Underlying residential zoning limits homes to 2.5 stories and is recommended for all future single family construction.

Undesirable massing:

Greater than 2.5 Stories

4+ Wide / Ranch



## **MATERIALS**

All new Rosedale single family homes must use at least two types of facade materials. Facade materials are limited to wood or wood-like siding, brick, and stone.

## **ROOF**

Roof types within single family neighborhoods must be pitched. Single family homes recently constructed along major corridors feature flat or shed roofs. These roof types may be constructed upon major corridors.

## **TRANSPARENCY**

Transparency, or the percentage of clear views into and out of a building, is important for both neighborhood aesthetics and safety. Crime Prevention Through Environmental Design (CPTED) emphasizes the importance of transparency through windows that increase active and passive surveillance of the street and neighboring homes. The more exposed a person feels to surveillance, the less likely they are to commit a crime. CPTED further proposes shifts in typical privacy behaviors, and suggests that residents refrain from keeping blinds and curtains constantly closed.

To promote both the aesthetic and safety qualities of windows, all new single family homes must have at least 30% transparency between 3' and 8' above finish floor on both the ground and 2nd level facade.

## **ORIENTATION & ENTRANCES**

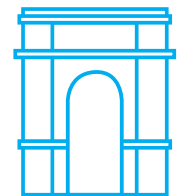
All new single family homes must be oriented to the street and have a primary entrance upon the front facade. The front door can also be located on the side of a home, as long as it is within 15' of the front facade and accessible by a side porch (see Side Yard Frontage, Narrow Lot design standards). All front entrances must have a porch with a minimum area of 40 square feet with a minimum dimension of 5 feet in length or depth.

## **GARAGES, DRIVEWAYS & SITE**

In all instances, garage location must conform to UG code standards for narrow lots. Garage doors may not dominate facades, and must be less than 30% of the house's facade width. Garages must be set back at least 15' from the front facade. In Rosedale, driveways one lane wide are most typical and desirable. No additional front yard parking may occur outside of a driveway. Even if a lot's size does not designate it as "Narrow", any new home design should strive to meet narrow lot site design guidelines.

## **THE LOWER LEVEL GARAGE**

Thirteen percent of Rosedale's housing stock overcomes steep topographical changes in grade between sidewalk and a home's ground floor by building homes into hills. Homes that do this typically have garages at sidewalk, or just below sidewalk level. Access to these garages requires typography cuts and retaining walls. Stair cases then connect higher elevation front entrances and porches to the sidewalk. This is the only condition in which a garage door flush with a house's front facade is desirable or acceptable. Examples and guidelines can be found in the "Parking with Topographical Difficulty" section of the Narrow Lot Guidelines.



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